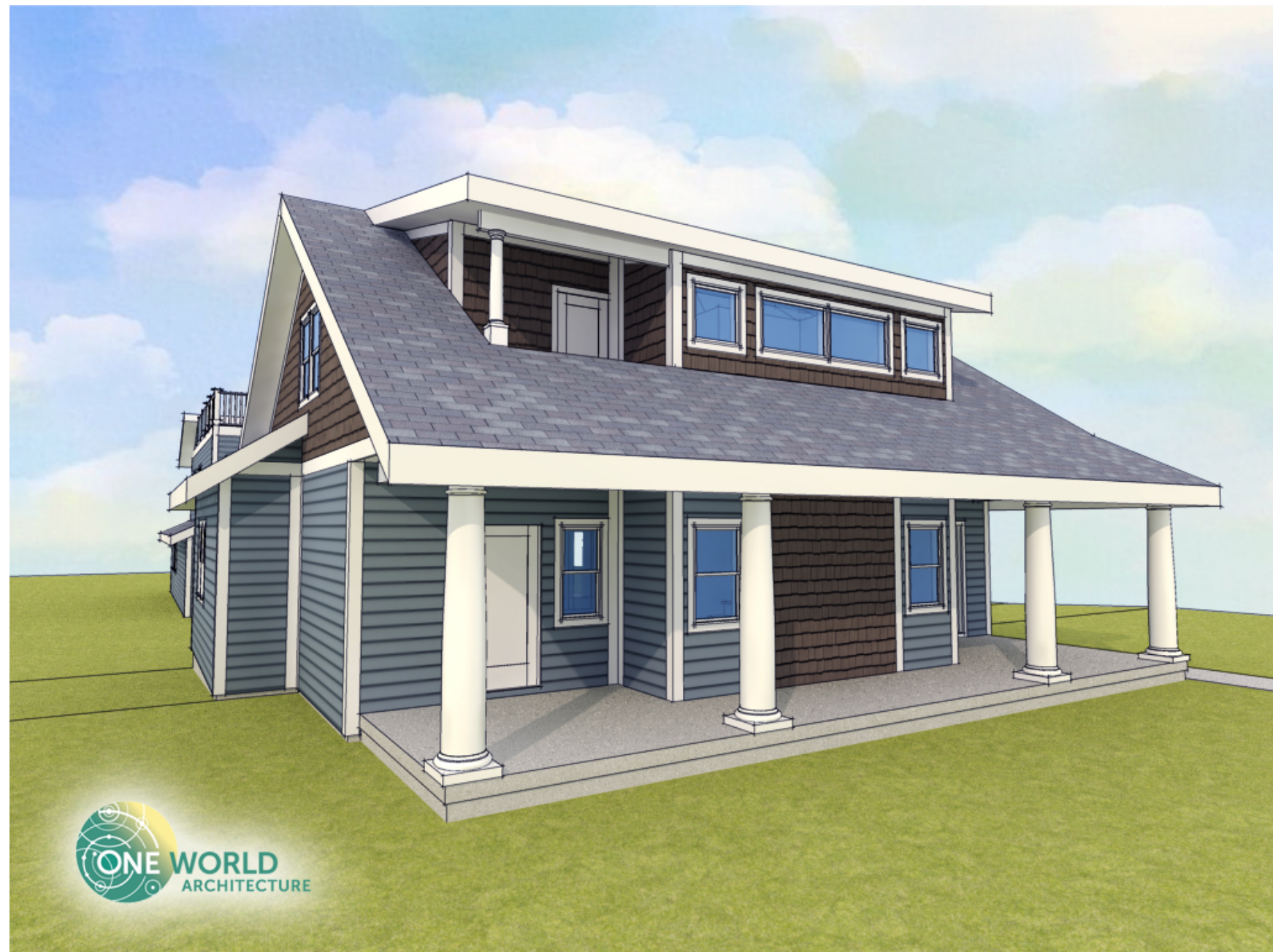


Griffin Residence & Accessory Structure



Louisville Office:
414 Baxter Ave., Ste 101 Louisville, KY 40204
T: 502.212.2056

San Diego Office:
9826 Ogram Dr., La Mesa, CA 91941
T: 619.567.7545

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TERMS OF USE

- CONTRACTOR TO VERIFY ALL PROPOSED & EXISTING DIMENSIONS, QUANTITIES, & FIELD CONDITIONS AS REQUIRED FOR PROPER COMPLETION OF WORK. CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.
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VICINITY MAP (NOT TO SCALE)



LEGAL DESCRIPTION

APN: 448-352-28-00

LEGAL DESCRIPTION:
BLOCK 41: LOTS 43 & 44

SCOPE OF WORK

PROPOSED WORK INCLUDES:

- ADDITION & RENOVATION OF AN EXISTING SINGLE FAMILY HOUSE (INCLUDES ADDITION OF A NEW SECOND FLOOR OVER EXISTING FIRST FLOOR).
- EXPANSION & RENOVATION OF AN EXISTING DETACHED GARAGE, INCLUDING THE ADDITION OF A SECOND FLOOR COMPANION UNIT ABOVE EXISTING GARAGE.
- THE FIRST FLOOR OF DETACHED GARAGE SHALL INCLUDE A PROPOSED NON-HABITABLE ACCESSORY UNIT (INCLUDING A WORKSHOP AND BATHROOM).

BUILDING DATA

ADDRESS
4775 PESCADERO AVENUE
SAN DIEGO, CA 92107

DATE BUILT: 1939

CONSTRUCTION TYPE: V
UNPROTECTED

OCCUPANCY TYPE:
RESIDENTIAL

ZONE: RM-1-1

SITE AREA: 7,500 SF

EXISTING BUILDING AREA:
HOUSE 1ST FLOOR: 1,222 GSF
GARAGE 1ST FLOOR: 671 GSF

PROPOSED BUILDING AREA:
HOUSE 1ST FLOOR: -12 GSF
HOUSE 2ND FLOOR: 782 GSF

GARAGE 1ST FLOOR (STORAGE): 112 GSF
COMPANION UNIT (ABOVE GARAGE): 849 SF

TOTAL BUILDING AREAS:
HOUSE: 1,992 GSF
GARAGE: 783 GSF
COMPANION UNIT: 849 GSF

TOTAL GROSS SQ FT: 3,624 GSF
TOTAL LANDSCAPE AREA: 3,174 SF

FLOOR AREA RATIO (F.A.R.):
MAX F.A.R.: .75
EXISTING F.A.R.: .25
PROPOSED F.A.R.: .48

MAX BUILDING HEIGHT: 30'
NEW CONST HEIGHT:
HOUSE: 24'
GARAGE/COMPANION UNIT: 28'-8 1/2"

EASEMENTS: NONE

REQUIRED SET BACKS:

MIN FRONT: 15'
STANDARD FRONT: 20'
MIN SIDE: 5'
STANDARD SIDE: 8'
REAR: 5'

PARKING REQUIREMENTS:

REQUIRED: 2 OFF STREET SPACES
PROVIDED: 2 SPACES IN EXISTING GARAGE + 1 ADDITIONAL SPACE OFF ALLEY

EXISTING FIRE SPRINKLER SYSTEM:
NONE IN EXISTING PRIMARY UNIT.
NO SPRINKLER SYSTEM REQUIRED IN COMPANION UNIT PER SD TECHNICAL BULLETIN RESD-3-1

PROJECT TEAM

OWNER/PERMIT HOLDER:

LUKE GRIFFIN
4775 PESCADERO AVENUE
SAN DIEGO, CA 92107

ARCHITECT:

ONE WORLD ARCHITECTURE
KEN PAREL-SEWELL, PRINCIPAL
9826 OGRAM DRIVE
LA MESA, CA 91941
619.567.7545

RESPONSIBLE FOR PREPARATION OF PLANS

SHEET INDEX

ARCHITECTURAL DRAWINGS

C0.1 COVER SHEET
C0.2 NOTES & STANDARDS
C0.3 SITE PLAN
~~C0.4 PHOTOGRAPHIC SURVEY - (NOT USED)~~
C0.5 BMP FORMS & PLAN
A1.0 DEMOLITION PLANS
A1.1 PROPOSED 1ST FLOOR PLANS
A2.1 PROPOSED 2ND FLOOR PLANS
A3.1 PROPOSED ROOF PLANS
A4.1 EXTERIOR ELEVATIONS (MAIN HOUSE)
A4.2 EXTERIOR ELEVATIONS (ACCESSORY STRUCTURE)

CODE COMPLIANCE

PROJECT DESIGNED TO COMPLY WITH THE FOLLOWING CODES:

2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

Griffin Residence

Luke Griffin
4775 Pescadero Avenue
San Diego, CA 92107

APN: 448-352-28-00

PRINT DATE: MARCH 12, 2020
PROJECT PHASE: COASTAL DEVELOPMENT PERMIT

rev. date. remark

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CURRENTLY ADOPTED BUILDING CODES OF SAN DIEGO, CALIFORNIA.

DATE



COVER SHEET

C0.1
1826

SITE NOTES

1. THE STRUCTURE WILL BE LOCATED ENTIRELY ON NATIVE/UNDISTURBED SOIL.

TOTAL DISTURBANCE AREA: 1,557 SQ FT

EARTHWORK QUANTITIES

CUT QUANTITIES: 28 CUBIC YARDS
FILL QUANTITIES: 23 CUBIC YARDS
EXPORT: 5 CUBIC YARDS
MAX CUT DEPTH : 1.5 FEET
MAX FILL DEPTH: 1.5 FEET

THE PROJECT PROPOSES TO EXPORT 5 CUBIC YARDS OF MATERIAL FROM THIS SITE.

ALL EXPORTED MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL PERMIT.

MISCELLANEOUS NOTES

1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

2. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

3. NO EASEMENTS ON PROPERTY

4. EXISTING WATER AND SEWER SERVICES WILL REMAIN

5. FIRE HYDRANT LOCATED 100' NORTHWEST OF SIDE PROPERTY LINE, AT CORNER OF PESCADERO AVENUE & SUNSET CLIFFS BLVD

PROJECT INFO

ADDRESS
4775 PESCADERO AVENUE
SAN DIEGO, CA 92107

APN: 448-352-28-00

LEGAL DESCRIPTION:
BLOCK 41, LOTS 43 & 44

DATE BUILT: 1939

PROPERTY OWNER:
LUKE GRIFFIN
646.591.6720

ARCHITECT:
ONE WORLD ARCHITECTURE
KEN PAREL-SEWELL, PRINCIPAL
9826 OGRAM DRIVE
LA MESA, CA 91941
619.567.7545

PROJECT SCOPE:
ADDITION & RENOVATION OF AN EXISTING SINGLE FAMILY HOUSE. EXPANSION & RENOVATION OF AN EXISTING DETACHED GARAGE, INCLUDING THE ADDITION OF A COMPANION UNIT ABOVE EXISTING GARAGE.

ZONING INFO

CONSTRUCTION TYPE: V
UNPROTECTED

OCCUPANCY TYPE:
RESIDENTIAL

ZONE: RM-1-1

SITE AREA: 6,978 SF

EXISTING BUILDING AREA:
HOUSE 1ST FLOOR: 1,222 GSF
GARAGE 1ST FLOOR: 671 GSF

PROPOSED BUILDING AREA:
HOUSE 1ST FLOOR: -12 GSF
HOUSE 2ND FLOOR: 782 GSF

GARAGE 1ST FLOOR (STORAGE): 112 GSF
COMPANION UNIT (ABOVE GARAGE): 849 SF

TOTAL BUILDING AREAS:
HOUSE: 1,992 GSF
GARAGE: 783 GSF
COMPANION UNIT: 849 GSF

TOTAL GROSS SQ FT: 3,624 GSF

TOTAL LANDSCAPE AREA: 3,174 SF

FLOOR AREA RATIO (F.A.R.)
MAX F.A.R.: 75
EXISTING F.A.R.: 18
PROPOSED F.A.R.: 52

MAX BUILDING HEIGHT: 30'
NEW CONST HEIGHT:
HOUSE: 24'
GARAGE/COMPANION UNIT: 28'-8 1/2"

EASEMENTS: NONE

REQUIRED SET BACKS:
MIN FRONT: 15'
STANDARD FRONT: 20'
MIN SIDE: 5'
STANDARD SIDE: 8'
REAR: 5'

SETBACK NOTES:
1. COMPANION UNIT MAY ENCROACH WITHIN THE SIDE & REAR YARD SETBACKS UP TO THE PROPERTY LINE SUBJECT TO THE FOLLOWING: A COMPANION UNIT MAY BE CONSTRUCTED ABOVE A PERMITTED GARAGE OR NON-HABITABLE ACCESSORY STRUCTURE

2. PORTIONS OF EXISTING HOUSE & GARAGE ENCROACH INTO SIDE & REAR SETBACKS. EXISTING WALLS SHALL REMAIN IN PLACE, WHILE ALL PROPOSED WORK SHALL COMPLY WITH CURRENT SETBACKS. SEE PROPOSED FLOOR PLANS AND ELEVATIONS FOR MORE INFO.

PARKING REQUIREMENTS:
REQUIRED: 2 OFF STREET SPACES PROVIDED: 2 SPACES IN EXISTING GARAGE + 1 ADDITIONAL SPACE OFF ALLEY

EXISTING FIRE SPRINKLER SYSTEM:
NONE IN EXISTING PRIMARY UNIT. NO SPRINKLER SYSTEM REQUIRED IN COMPANION UNIT PER SD TECHNICAL BULLETIN RESD-3-1

SITE LEGEND

PROPERTY LINE
REQ. SETBACK LINE



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Griffin Residence

Luke Griffin
4775 Pescadero Avenue
San Diego, CA 92107

APN: 448-352-28-00

PRINT DATE: MARCH 12, 2020
PROJECT PHASE: COASTAL DEVELOPMENT PERMIT

rev. date. remark

CERTIFICATION

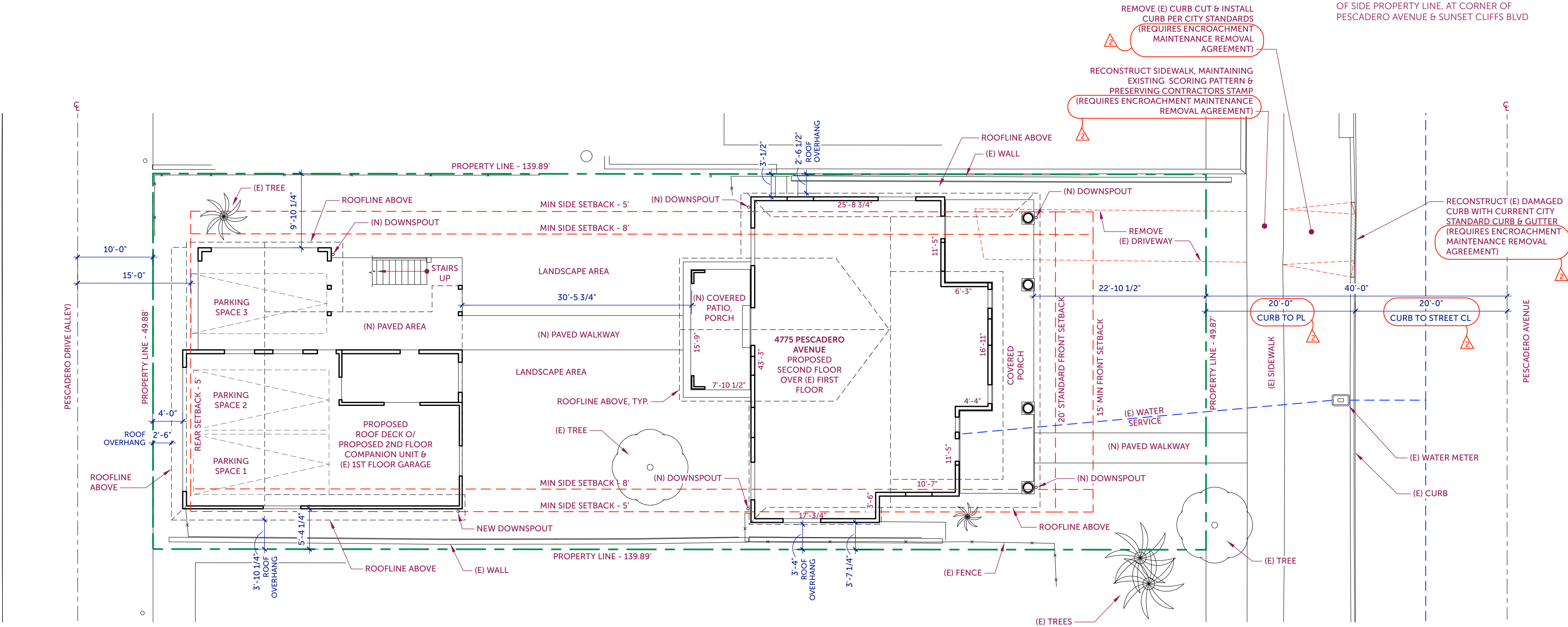
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SITE PLAN

C0.3

1 8 . 2 6



1 SITE PLAN

SCALE :: 1/8" = 1'-0"



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4775 Pescadero Avenue
San Diego, CA 92107

APN: 448-352-28-00

PRINT DATE: MAY 31, 2019
PROJECT PHASE: COASTAL DEVELOPMENT PERMIT

rev.	date.	remark
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DATE



DEMOLITION PLANS

A1.0
1 8 . 2 6

PLAN LEGEND

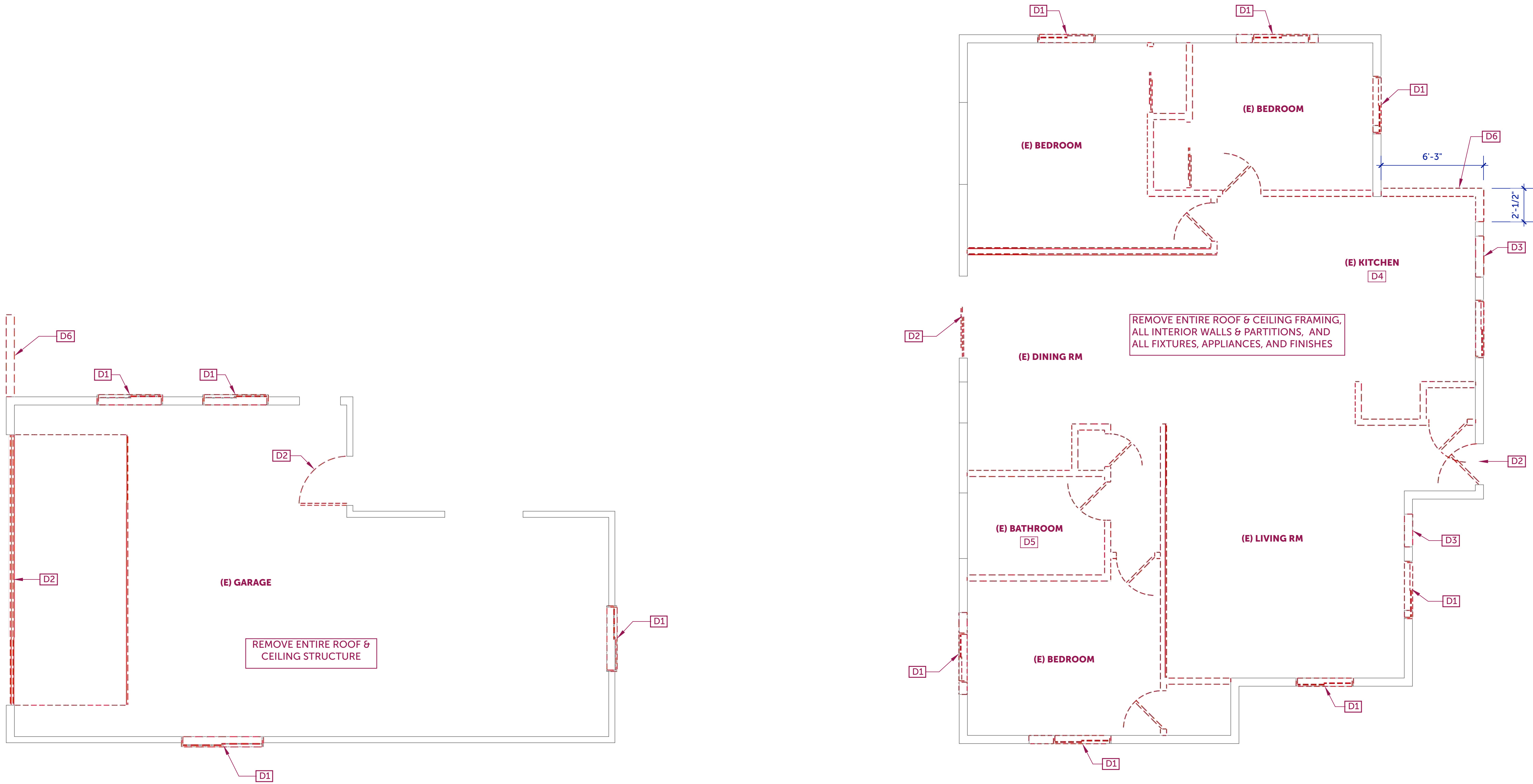
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMO'D
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- NEW EXTERIOR CLADDING
- WINDOW (W-01)
- DOOR (D-01)
- KEYNOTE (A1)

DEMOLITION KEYNOTES

- D1** REMOVE EXISTING WINDOW. INFILL EXISTING ROUGH OPENING OR MODIFY FOR NEW WINDOW. REFER TO PROPOSED FLOOR PLAN FOR PROPOSED WINDOW LOCATIONS & SIZES.
- D2** REMOVE EXISTING EXTERIOR DOOR. INFILL EXISTING ROUGH OPENING OR MODIFY OPENING FOR NEW DOOR OR WINDOW. REFER TO PROPOSED FLOOR PLAN FOR PROPOSED DOOR LOCATIONS & SIZES.
- D3** PREPARE NEW ROUGH OPNING FOR NEW WINDOW. REFER TO PROPOSED FLOOR PLAN FOR PROPOSED WINDOW LOCATIONS & SIZES.
- D4** REMOVE ALL EXISTING KITCHEN CABINETS, APPLIANCES, FIXTURES, & FINISHES. CAP & REMOVE PLUMBING LINES AS REQ'D FOR NEW PLUMBING WORK. REFER TO MEP PLANS E1.1 & E1.2 FOR LOCATIONS OF PROPOSED PLUMBING & ELECTRICAL WORK. SALVAGE OR REUSE ANY EXISTING CABINETS, APPLIANCES OR FIXTURES PER OWNER REQUEST.
- D5** REMOVE ALL EXISTING BATHROOM CABINETS, FIXTURES, & FINISHES. CAP & REMOVE PLUMBING LINES AS REQ'D FOR NEW PLUMBING WORK. REFER TO MEP PLANS E1.1 & E1.2 FOR LOCATIONS OF PROPOSED PLUMBING WORK. SALVAGE OR REUSE ANY EXISTING CABINETS OR FIXTURES PER OWNER REQUEST.
- D6** REMOVE EXISTING EXTERIOR WALL AS REQUIRED FOR PROPOSED PLAN.

DEMOLITION NOTES

1. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER BEFORE THE START OF THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
2. EXISTING UTILITIES: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITIES SERVING BUILDINGS & STRUCTURES TO BE DEMOLISHED.
3. TEMPORARY SHORING: PROVIDE & MAINTAIN INTERIOR & EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY & PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
4. EXISTING ITEMS TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING DEMOLITION. WHEN PERMITTED BY ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION, DURING DEMOLITION AND REINSTALLED IN THEIR ORIGINAL LOCATIONS AFTER DEMOLITION OPERATIONS ARE COMPLETE.
5. REPAIRS: PROMPTLY REPAIR DAMAGE TO ADJACENT CONSTRUCTION CAUSED BY BUILDING DEMOLITION OPERATIONS. WHERE REPAIRS TO EXISTING SURFACES ARE REQUIRED, PATCH TO PRODUCE SURFACES SUITABLE FOR NEW MATERIALS. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND RESTORATION INTO ADJOINING CONSTRUCTION IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.
6. RECYCLING DEMOLISHED MATERIALS: SEPARATE RECYCLABLE DEMOLISHED MATERIALS FROM OTHER DEMOLISHED MATERIALS TO THE MAXIMUM EXTANT POSSIBLE. SEPARATE RECYCLABLE MATERIALS BY TYPE. TRANSPORT RECYCLABLE MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
7. DISPOSAL OF DEMOLISHED MATERIALS: EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS. DO NOT BURN DEMOLISHED MATERIALS. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
8. CLEANING: CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN.

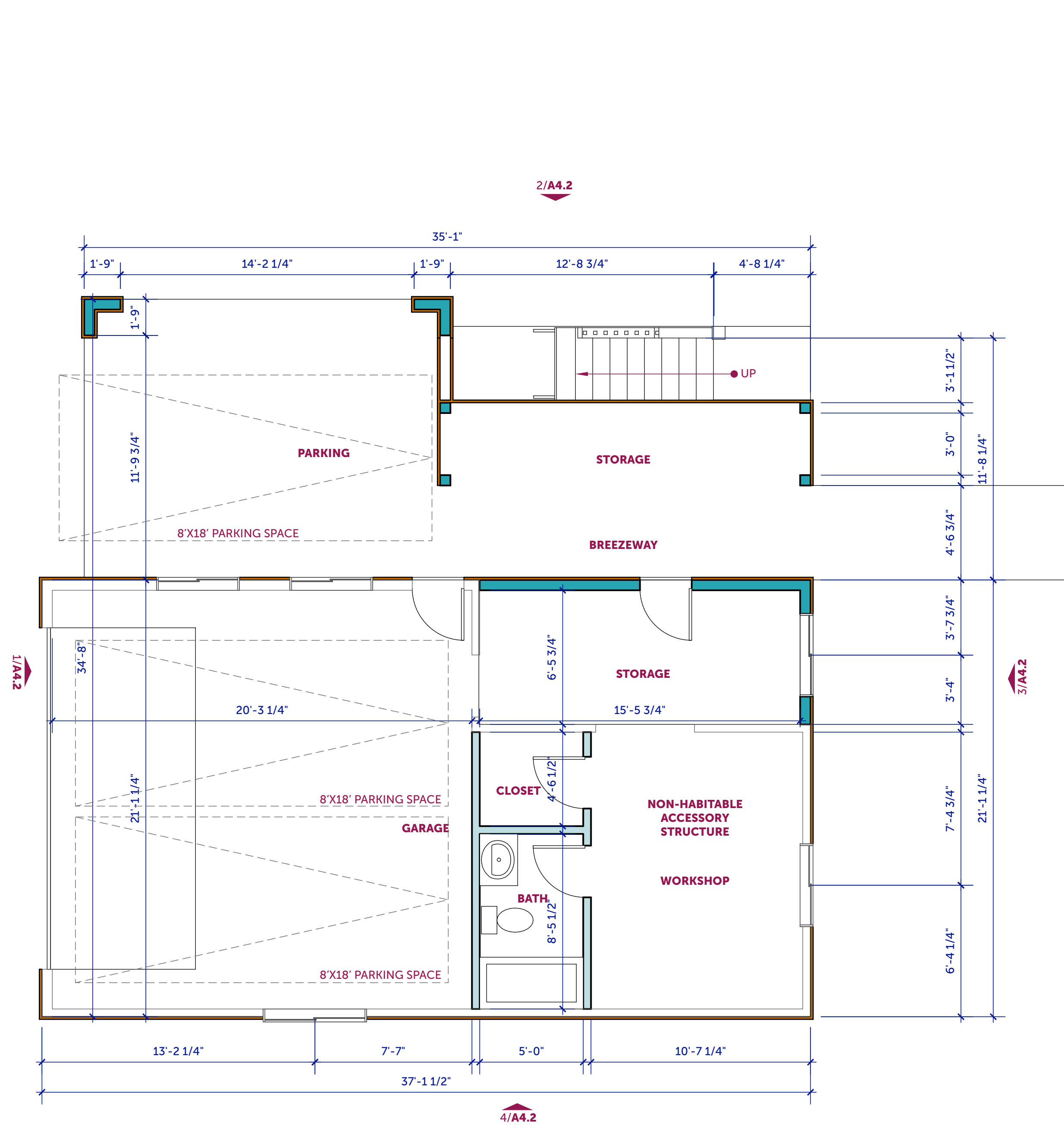


1 GARAGE DEMOLITION PLAN

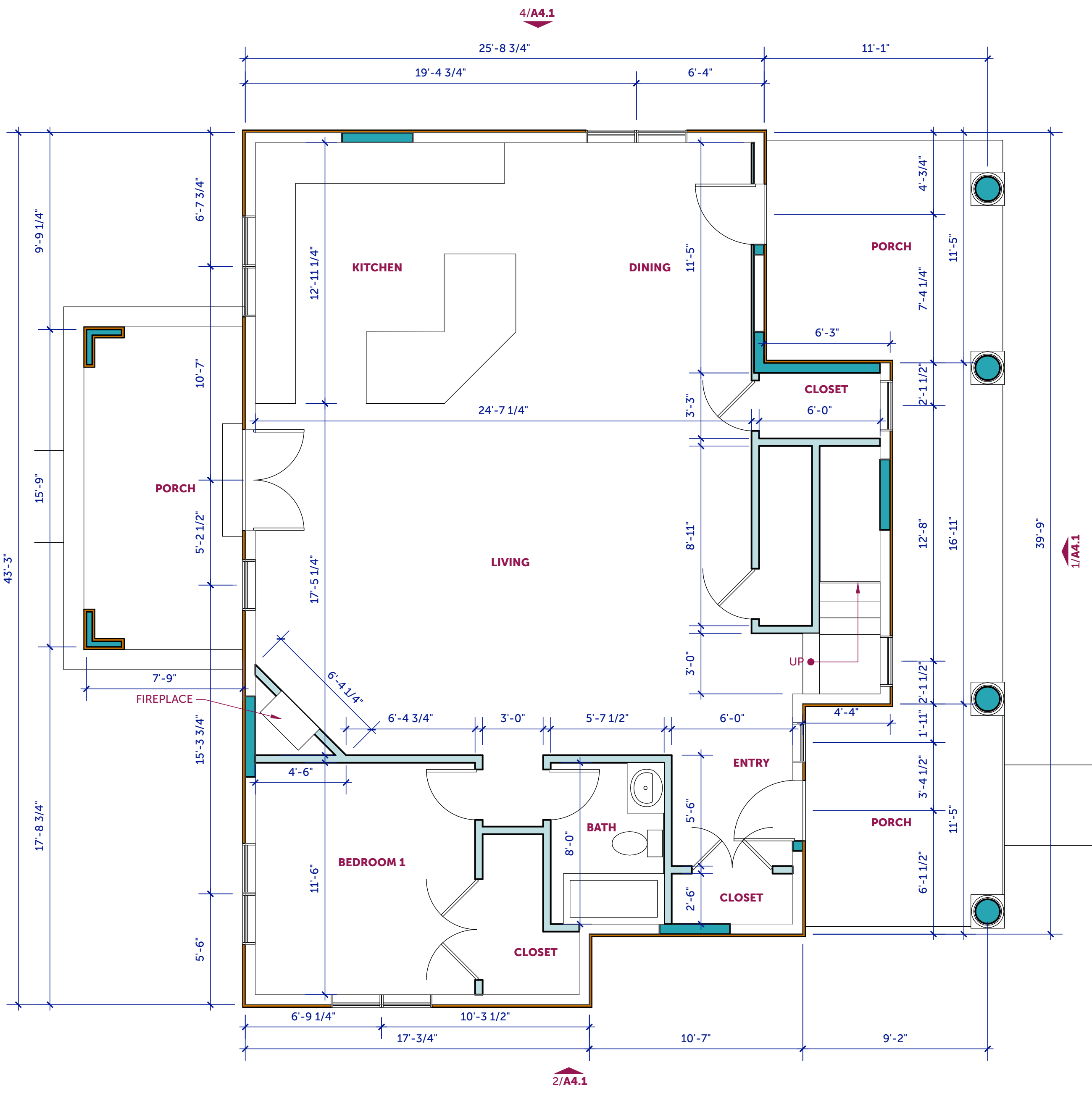
SCALE :: 1/4" = 1'-0"

1 FIRST FLOOR DEMOLITION PLAN

SCALE :: 1/4" = 1'-0"



2 FIRST FLOOR PROPOSED PLAN (ACCESSORY)
SCALE :: 1/4" = 1'-0"



1 FIRST FLOOR PROPOSED PLAN (MAIN HOUSE)
SCALE :: 1/4" = 1'-0"

PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMO'D
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- NEW EXTERIOR CLADDING
- W-01 WINDOW
- D-01 DOOR
- A1 KEYNOTE

TYPICAL PLAN NOTES

- MINIMUM ROOM DIMENSIONS (R304 & R305):
- AT LEAST ONE HABITABLE ROOM SHALL HAVE NOT LESS THAN 120 S.F. AND OTHER HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 S.F.
 - HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FT IN ANY HORIZONTAL DIRECTION.
 - HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FT.
- LIGHT (R303):
- ALL ROOMS REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS MIN 8% OF THE FLOOR AREA OF THE ROOM.

FLOOR PLAN KEYNOTES

- A1 SEE E1.1 MEP PLAN FOR ALL PROPOSED PLUMBING FIXTURE NOTES, POSITIONS, CLEARANCES, AND OTHER RELEVANT INFORMATION.
- A2 SEE E1.1 MEP PLAN FOR NOTES AND INFORMATION RELATED TO MECHANICAL DUCTWORK, EXHAUST FANS, ETC.



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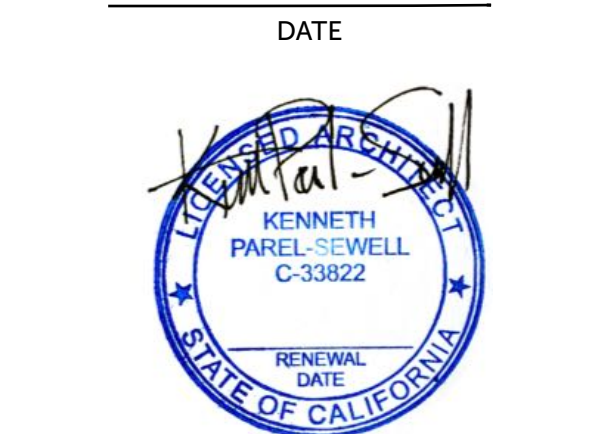
APN: 448-352-28-00

PRINT DATE: MARCH 12, 2020
PROJECT PHASE: COASTAL DEVELOPMENT PERMIT

rev.	date.	remark
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CERTIFICATION

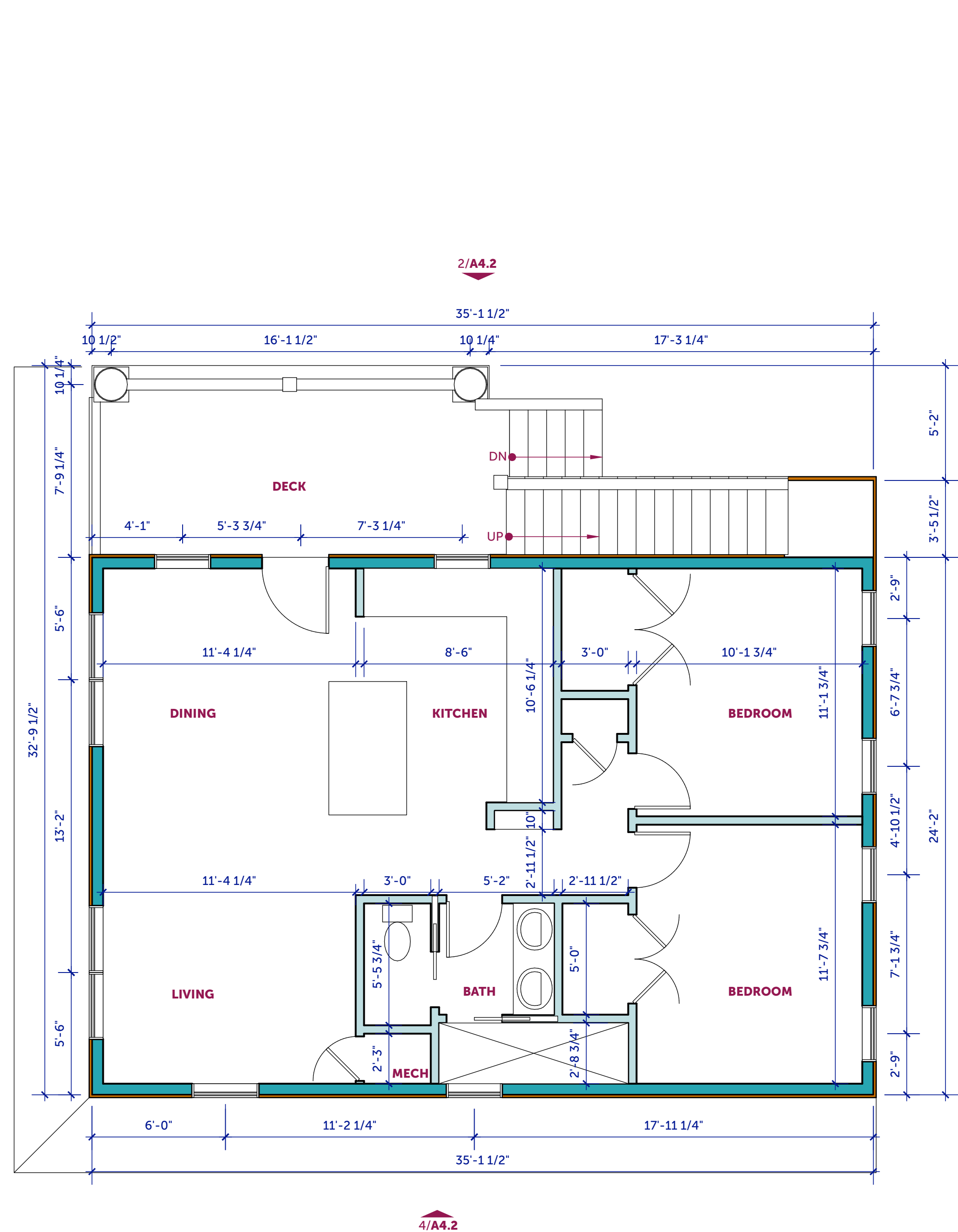
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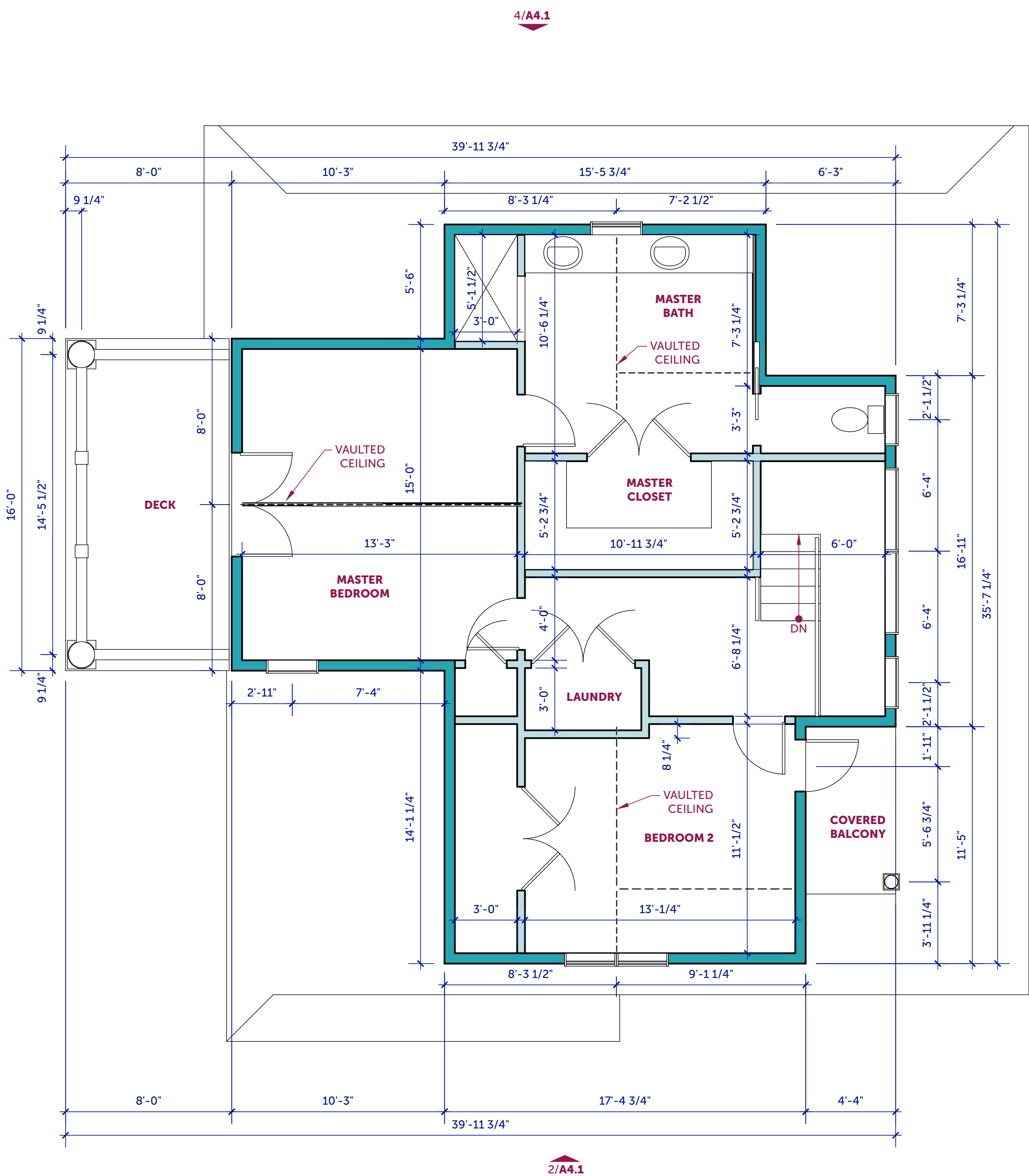
PROPOSED 1ST FLOOR PLANS

A1.1

1826



2 SECOND FLOOR PROPOSED PLAN (ACCESSORY)
SCALE :: 1/4" = 1'-0"



1 SECOND FLOOR PROPOSED PLAN (MAIN HOUSE)
SCALE :: 1/4" = 1'-0"

PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMO'D
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- NEW EXTERIOR CLADDING
- (W-01) WINDOW
- (D-01) DOOR
- (A1) KEYNOTE

WALL & FLOOR TYPES

- SEE SHEET A0.1 FOR WALL, FLOOR, & ROOF DETAILS
- (A) EXTERIOR WALL W/ CONTINUOUS INSULATION & STUCCO CLADDING
 - (B) EXTERIOR WALL W/ CONTINUOUS INSULATION & FIBER CEMENT SIDING
 - (C) EXTERIOR WALL W/ STUCCO CLADDING (NO CONT. INSUL)
 - (D) EXTERIOR WALL W/ FIBER CEMENT SIDING (NO CONT. INSUL)
 - (E) INTERIOR PARTITION
 - (F) INTERIOR WALL W/ TILE
 - (G) ROOF SYSTEM
 - (H) CEILING SYSTEM
 - (J) WOOD FLOOR ON SLAB
 - (K) TILE FLOOR ON SLAB
 - (L) WOOD FLOOR OVER CRAWLSPACE
 - (M) TILE FLOOR OVER CRAWLSPACE

TYPICAL PLAN NOTES

- MINIMUM ROOM DIMENSIONS (R304 & R305):
- AT LEAST ONE HABITABLE ROOM SHALL HAVE NOT LESS THAN 120 S.F. AND OTHER HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 S.F.
 - HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FT IN ANY HORIZONTAL DIRECTION.
 - HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FT.
- LIGHT (R303): ALL ROOMS REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS MIN 8% OF THE FLOOR AREA OF THE ROOM.

FLOOR PLAN KEYNOTES

- (A1) SEE E1.1 MEP PLAN FOR ALL PROPOSED PLUMBING FIXTURE NOTES, POSITIONS, CLEARANCES, AND OTHER RELEVANT INFORMATION.
- (A2) SEE E1.1 MEP PLAN FOR NOTES AND INFORMATION RELATED TO MECHANICAL DUCTWORK, EXHAUST FANS, ETC.



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- TERMS OF USE
- CONTRACTOR TO VERIFY ALL PROPOSED & EXISTING DIMENSIONS, QUANTITIES, & FIELD CONDITIONS AS REQUIRED FOR PROPER COMPLETION OF WORK. CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.
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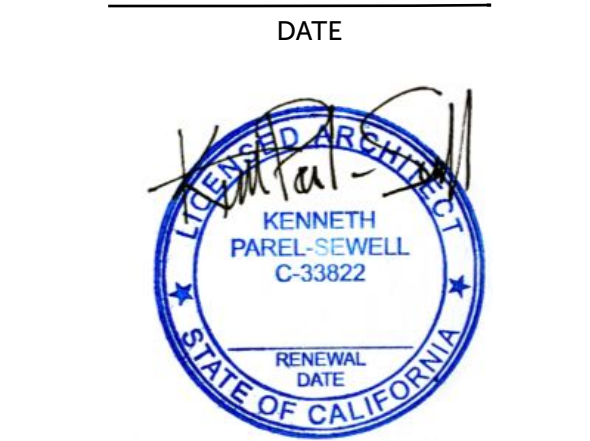
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PRINT DATE: MARCH 12, 2020
PROJECT PHASE: COASTAL DEVELOPMENT PERMIT

rev.	date.	remark
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CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CURRENTLY ADOPTED BUILDING CODES OF SAN DIEGO, CALIFORNIA.



PROPOSED 2ND FLOOR PLANS

A2.1

1 8 . 2 6



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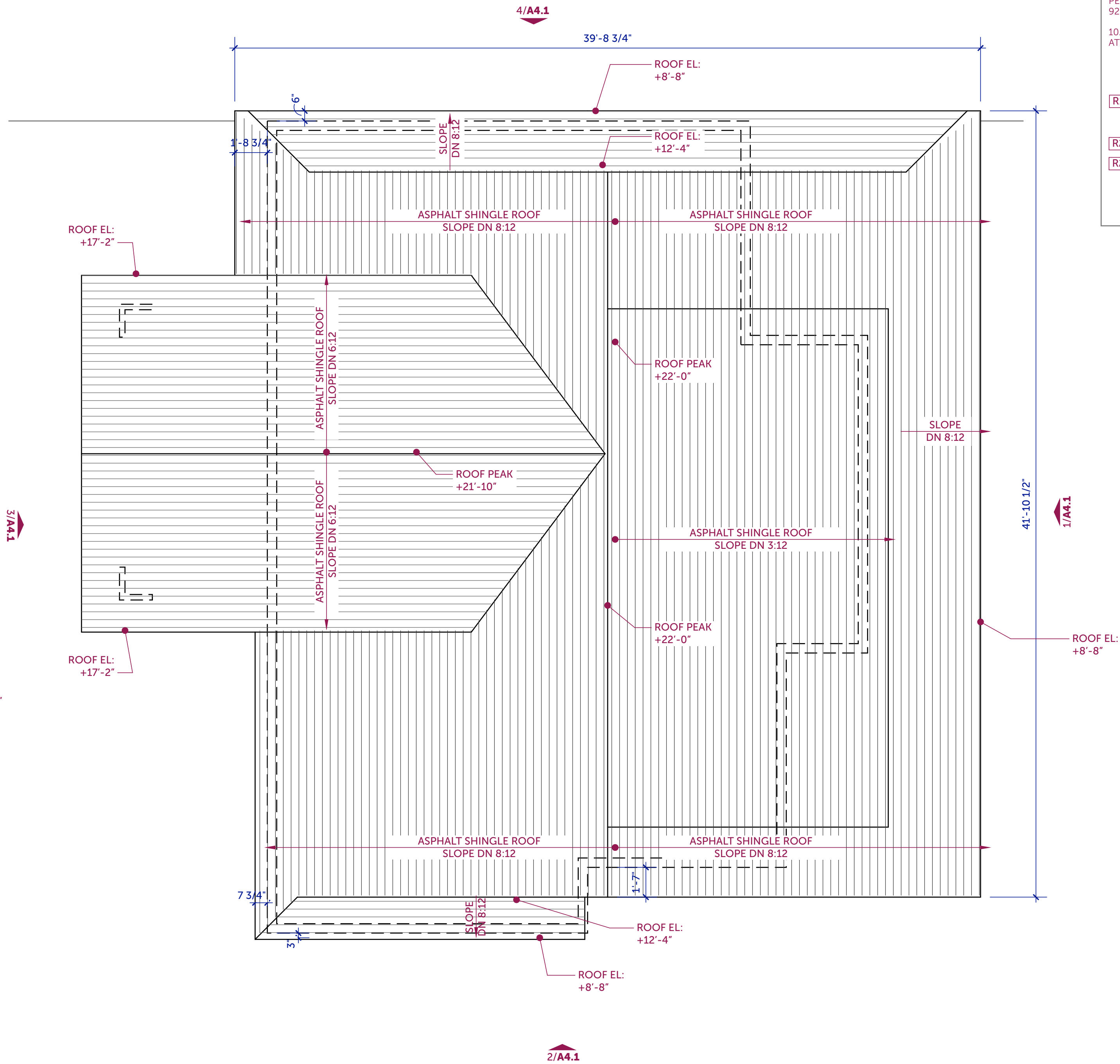
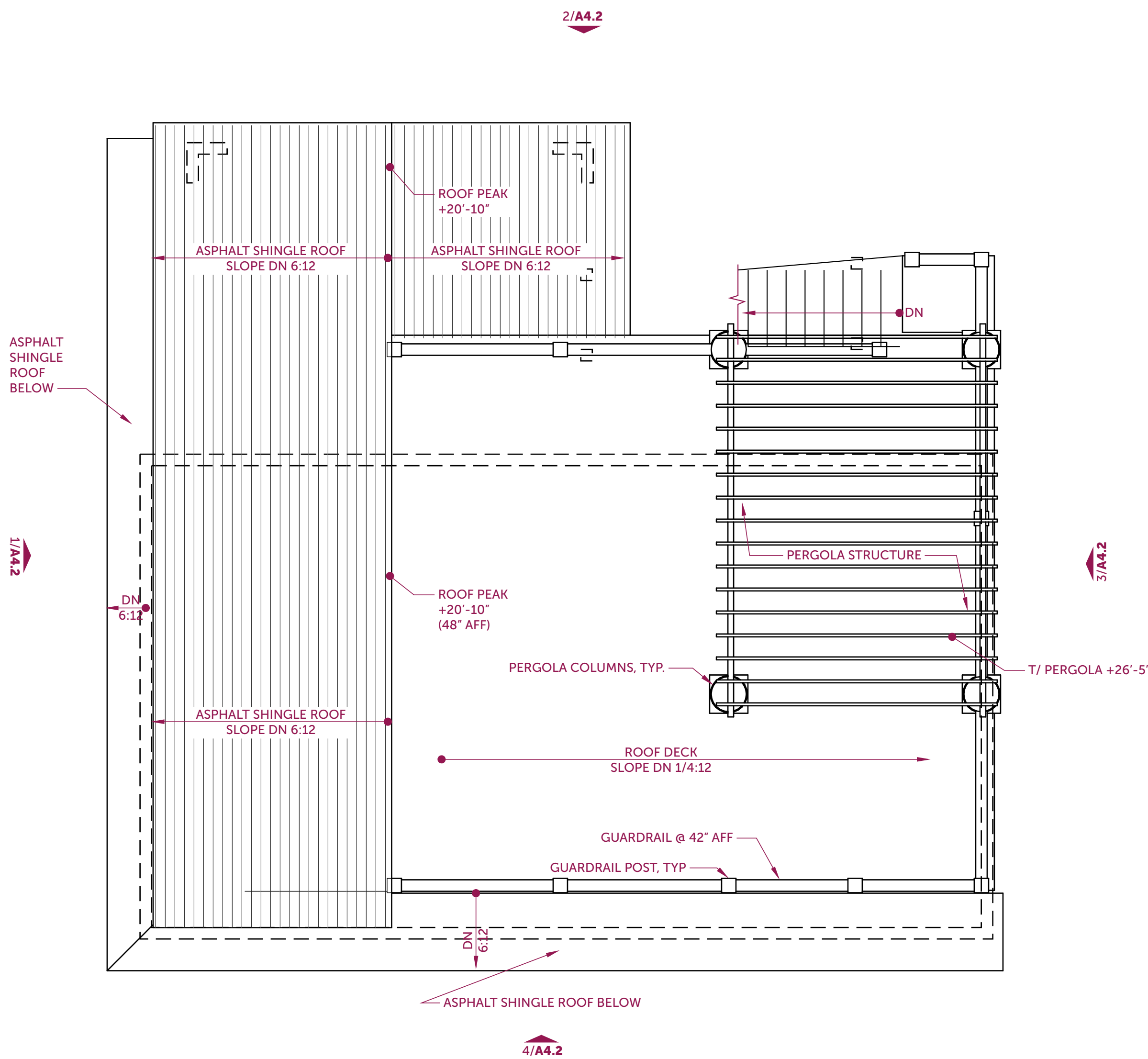
ROOFING NOTES

- ALL NEW ROOFS TO BE ASPHALT SHINGLE, OVER 30# FELT PAPER, OVER 3/4" PLYWOOD SHEATHING. SEE TYPICAL ROOF DETAIL ON A0.1.
- ASPHALT SHINGLES: TIMBERLINE COOL SERIES OR APPROVED EQ. TO COMPLY WITH TITLE 24 REQUIREMENTS.
- TO PREVENT DECK COMBUSTION, CLOSE ALL GAPS BETWEEN ROOF COVERING AND ROOF DECK WITH APPROVED, NON-COMBUSTIBLE FIRE-STOPPING.
- ALL ROOFING SHALL HAVE A CLASS A FIRE RATING
- ALL ROOF VENTS SHALL BE PROTECTED BY LOUVERS & 1/8" NONCOMBUSTIBLE CORROSION-RESISTANT MESH (EXCEPTION: APPROVED VENTS RESISTING INTRUSION OF FLAMES & EMBERS). TURBINE ATTIC VENTS MUST BE EQUIPPED TO ALLOW ROTATION IN ONLY ONE DIRECTION.
- ALL NEW ALUMINUM GUTTERS TO MATCH EXISTING GUTTER SIZE & PROFILE. ALL GUTTERS SHALL BE PROVIDED WITH GUTTER GUARDS OR OTHER APPROVED MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
- ALL NEW ALUMINUM DOWNSPOUTS TO MATCH EXISTING DOWNSPOUT SIZE & PROFILE
- TO PREVENT DECK COMBUSTION, CLOSE ALL GAPS BETWEEN ROOF COVERING AND ROOF DECK WITH APPROVED, NON-COMBUSTIBLE FIRE-STOPPING, PER SAN DIEGO COUNTY BUILDING CODE 92.1.705A.2
- EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH MINIMUM 26-GAUGE CORROSION RESISTANT METAL, INSTALLED OVER 36" WIDE SINGLE LAYER OF NO. 72 ASTM CAP SHEET RUNNING FULL LENGTH OF VALLEY, PER SAN DIEGO COUNTY BUILDING CODE 92.1.705A.3
- PAPER-FACED INSULATION PROHIBITED IN ATTICS OR OTHER VENTILATED SPACES.

[R1] 5" ALUMINUM GUTTER

[R2] ALUMINUM DOWNSPOUT

[R2] ROOF VENTS:
60 IN. ALUMINUM SLANT BACK STATIC ROOF LOUVERS (MANUF: MASTER FLOW 55B960 OR APPROVED EQ.)
4 VENTS TOTAL AT NEW ROOF



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CERTIFICATION

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PROPOSED ROOF PLANS

A3.1

1 8 . 2 6

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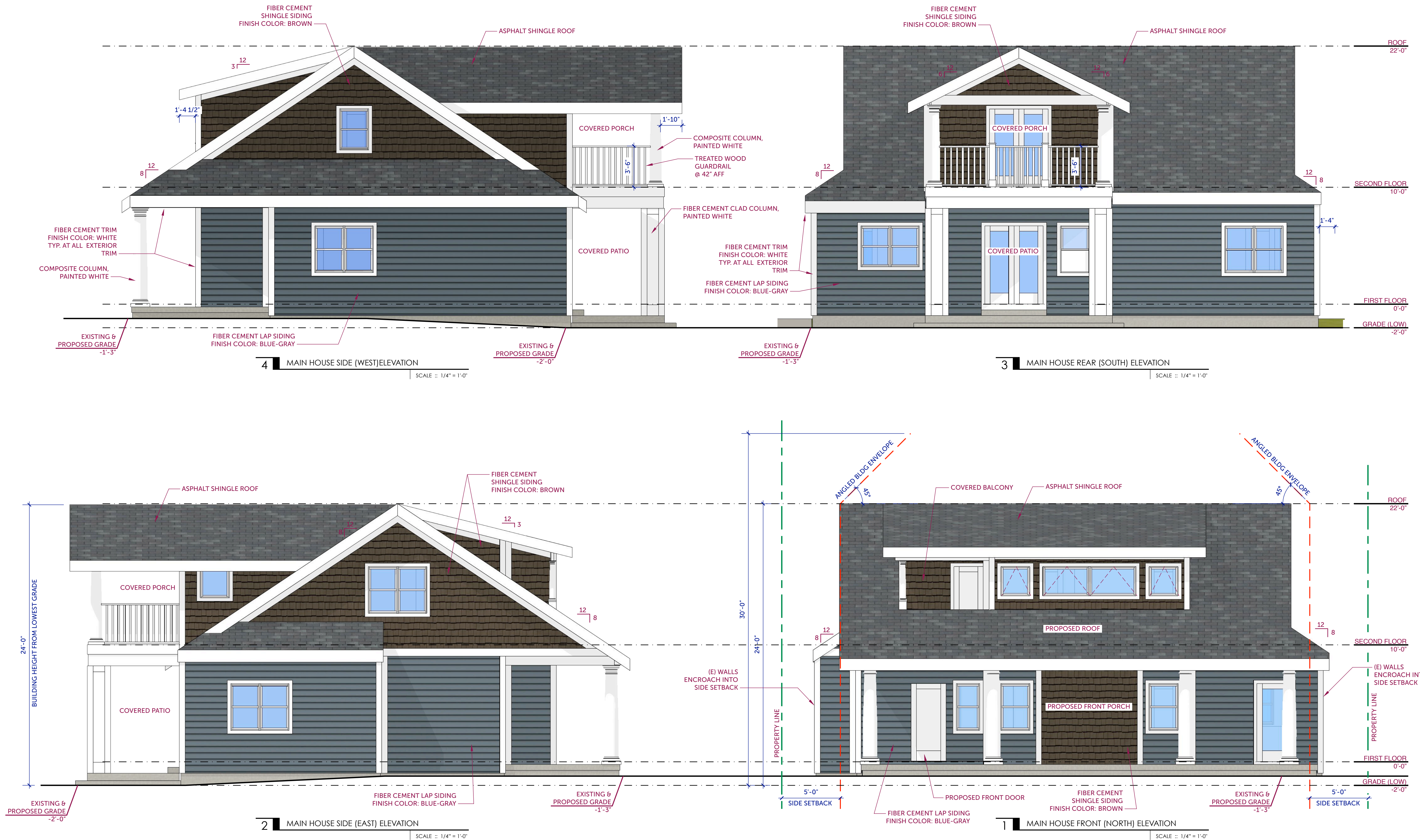
RENEWAL DATE

STATE OF CALIFORNIA

ELEVATIONS
(MAIN HOUSE)

A4.1

1 8 2 6



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DATE



ELEVATIONS
(ACCESSORY STRUCTURE)

A4.2
1 8 2 6

