

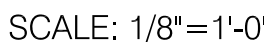


1. ADEQUATE NOISE ATTENUATION WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 45 DB CNEL FOR ALL HABITABLE ROOMS.

1. REQUIRED STREET TREES: ONE 24-INCH BOX CANOPY TREE FOR EVERY 30 LINEAR FEET OF STREET FRONTAGE

FRONT STREET LINEAR FEET: 50'-0"
NUMBER OF PROVIDED STREET TREE: 1
STREET TREE SPECIES: BAUHINIA BLAKEANA
(HONGKONG ORCHID)

2. WATER BUDGET CALCULATION



5 SITE PLAN

4614 CAPE MAY AVE. SAN DIEGO, CA 92107

A-4.1 UNIT A ELEVATIONS
A-4.2 UNIT B ELEVATIONS
A-5.0 SECTIONS

NOTE:

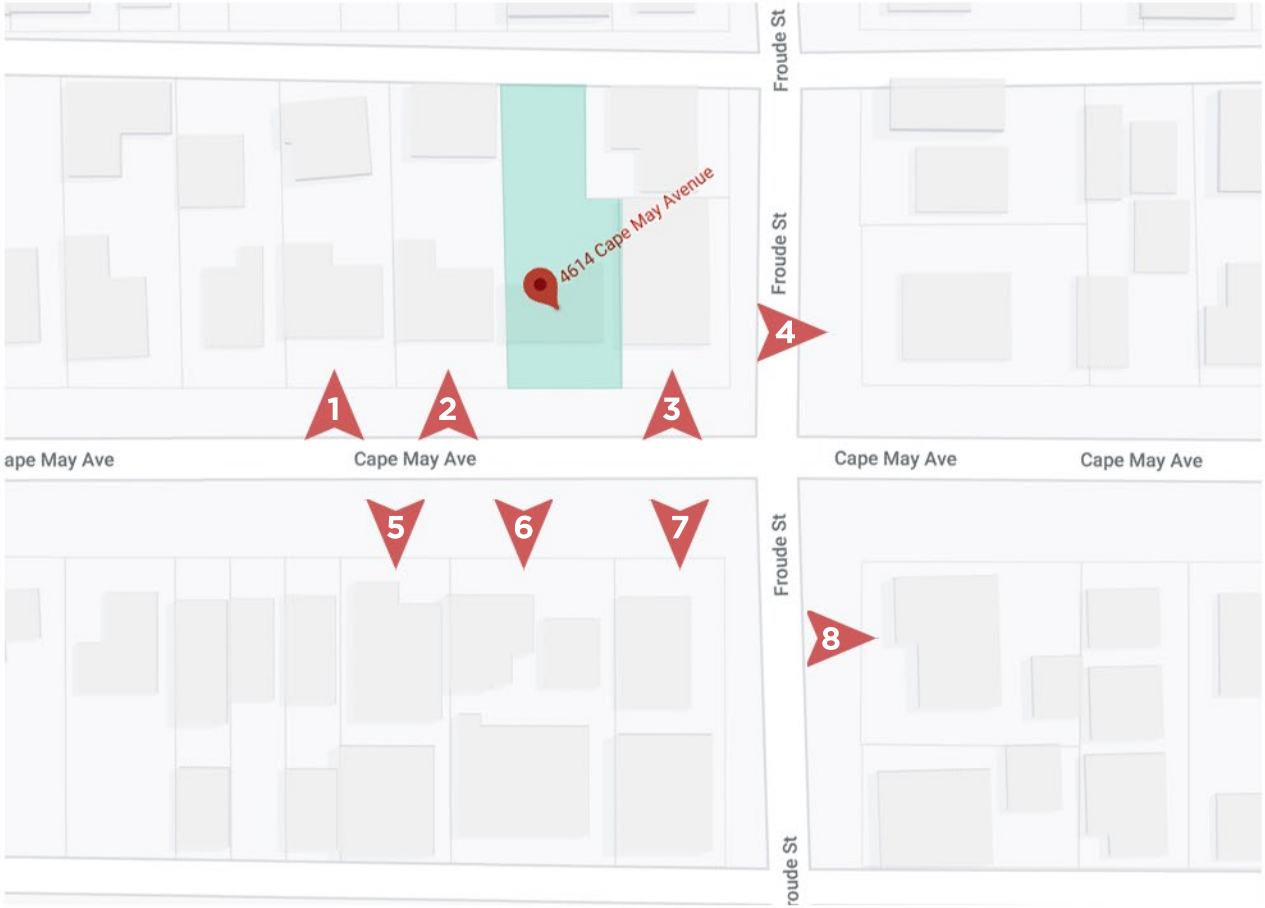
1. DESIGN SHALL COMPLY WITH THE 2016 CBC, CRC, CMC, CPC, CGBSC AND CEC AS AMENDED BY CITY ORDINANCE AND THE 2008 TITLE 24 ENERGY REGULATIONS.
2. WORKING HOURS ARE 7AM-5PM, M-F; 9AM-3PM, SATURDAY; NO SUNDAY OR LEGAL HOLIDAYS.
3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED.
NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

CONTRACTOR
WILLBII DESIGN AND BUILDING
2158 HUNTINGTON DR.
SAN MARINO CA 91108





3D MODELING STUDIES
4614 CAPE MAY AVE.



1 4626 CAPE MAY AVE



2 4620 CAPE MAY AVE



3 4604 CAPE MAY AVE



4 2055 FROUDE AVE



5 4625 CAPE MAY AVE



6 4615 CAPE MAY AVE



7 4603 CAPE MAY AVE



8 4585 CAPE MAY AVE

NEIGHBORHOODS LISTS

1. 4626 CAPE MAY AVE.
2. 4620 CAPE MAY AVE.
3. 4604 CAPE MAY AVE.
4. 2055 FROUDE AVE.

5. 4625 CAPE MAY AVE.
6. 4615 CAPE MAY AVE.
7. 4603 CAPE MAY AVE.
8. 4585 CAPE MAY AVE.

JOBSITE



VIEW ON CAPE MAY AVE. AROUND JOB SITE

EXISTING NEIGHBORHOODS

4614 CAPE MAY AVE.



NEIGHBORHOODS LISTS

1. 4486 DEL MONTE AVE.

2. 4503 NARAGANSETT AVE.

3. 4628 NARAGANSETT AVE.

4. 4564 NIAGARA AVE.

5. 4460 NEWPORT AVE.
6. 4562 CAPE MAY AVE.

7. 4569 BRIGHTON AVE.

8. 4416 BRIGHTON AVE.

9. 4427 LONG BRANCH AVE.



1 4486 DEL MONTE AVE



2 4503 NARAGANSETT AVE



3 4628 NARAGANSETT AVE



4 4564 NIAGARA AVE



5 4460 NEWPORT AVE



6 4562 CAPE MAY AVE



7 4569 BRIGHTON AVE



8 4416 BRIGHTON AVE



9 4427 LONG BRANCH AVE

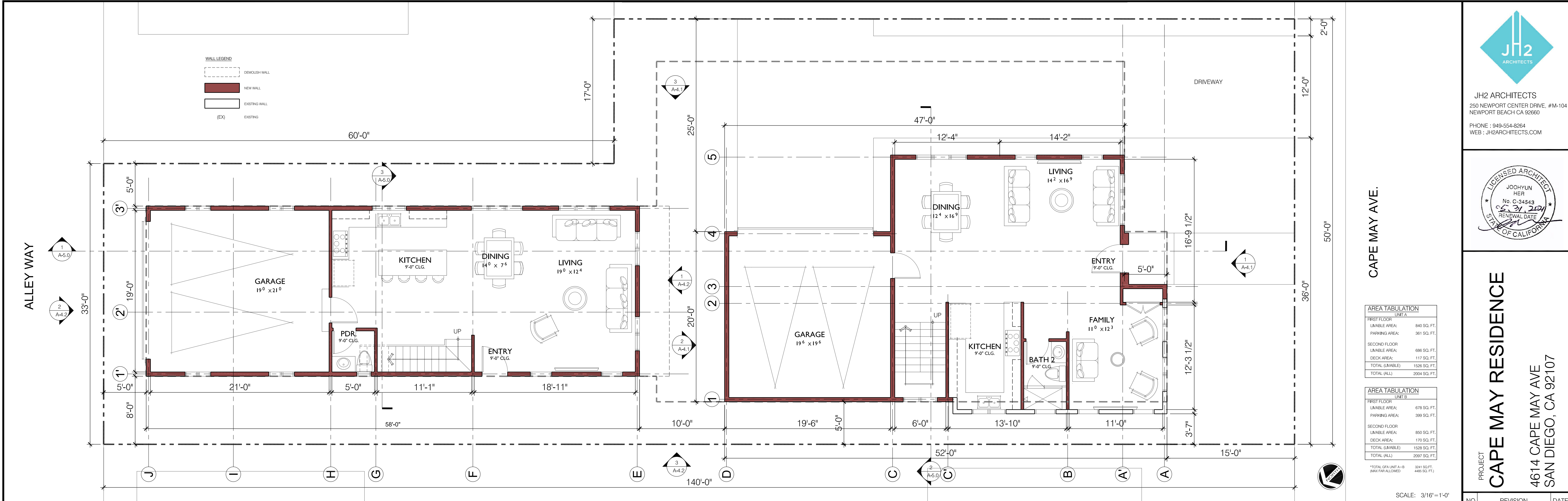


NEIGHBORHOOD CONTEXT FROM JOB SITE



NEIGHBORHOOD CONTEXT FROM #3 REFERENCE

ARCHITECTURE CONCEPT REFERENCE IN NEIGHBORHOODS
4614 CAPE MAY AVE.



AREA TABULATION	
UNIT A	
FIRST FLOOR:	
LIVABLE AREA:	940 SQ. FT.
PARKING AREA:	381 SQ. FT.
SECOND FLOOR:	
LIVABLE AREA:	686 SQ. FT.
DECK AREA:	117 SQ. FT.
TOTAL (LIVABLE):	1626 SQ. FT.
TOTAL (ALL):	2004 SQ. FT.

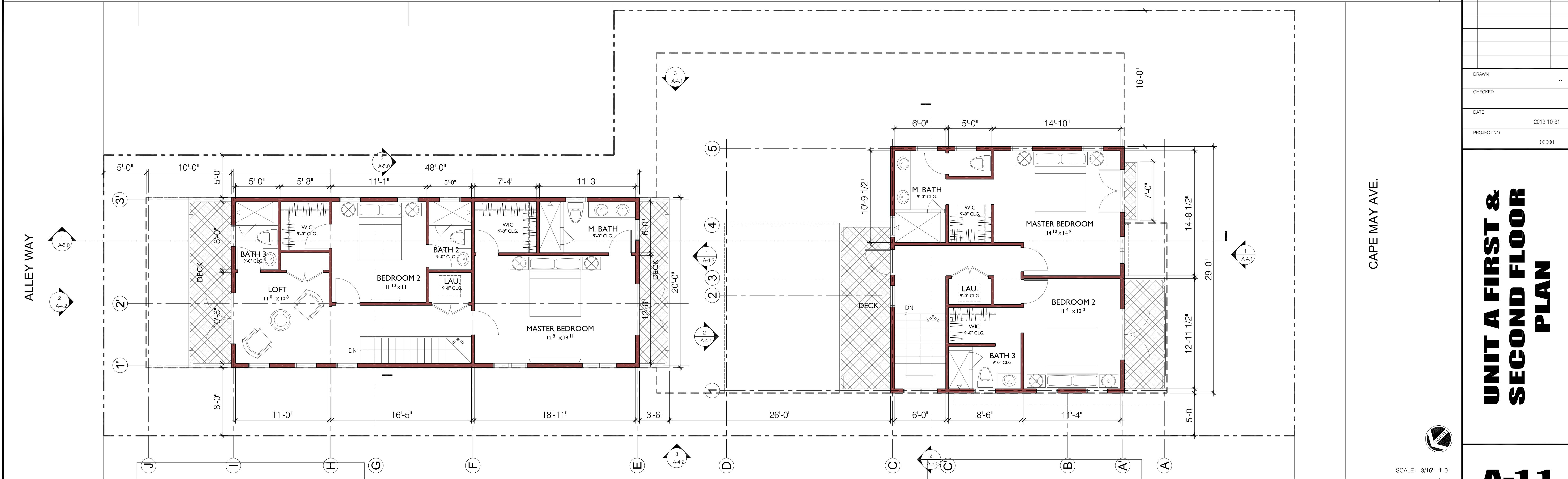
AREA TABULATION	
UNIT B	
FIRST FLOOR:	
LIVABLE AREA:	678 SQ. FT.
PARKING AREA:	399 SQ. FT.
SECOND FLOOR:	
LIVABLE AREA:	850 SQ. FT.
DECK AREA:	170 SQ. FT.
TOTAL (LIVABLE):	1528 SQ. FT.
TOTAL (ALL):	2097 SQ. FT.

*TOTAL GFA UNIT A+B
(MAX FAR ALLOWED)

3241 SQ. FT.
4485 SQ. FT.

SCALE: 3/16"=1'-0"

FIRST FLOOR PLAN 1



SCALE: 3/16"=1'-0"

SECOND FLOOR PLAN 2



JH2 ARCHITECTS
250 NEWPORT CENTER DRIVE, #M-104
NEWPORT BEACH CA 92660
PHONE : 949-554-8264
WEB : JH2ARCHITECTS.COM



PROJECT
CAPE MAY RESIDENCE
4614 CAPE MAY AVE
SAN DIEGO, CA 92107

NO	REVISION	DATE
1	COASTAL DEVELOPMENT REVIEW	00/00/20

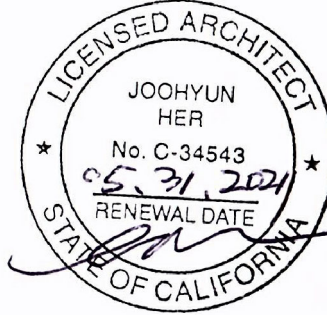
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UNIT A FIRST & SECOND FLOOR PLAN

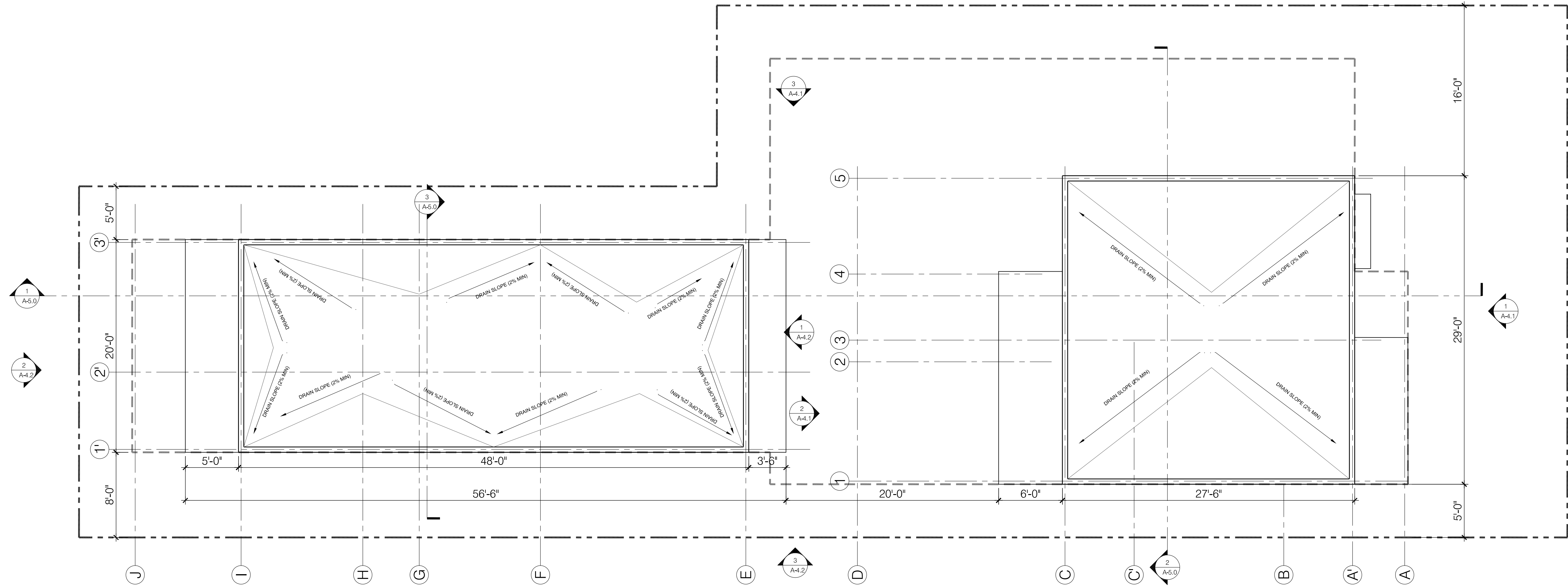
A-1.1



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SCALE: 3/16"=1'-0"

ROOF PLAN 1

ROOF PLAN NOTES

1. PROVIDE ROOFING SPECIFICATIONS:
 - a. CLASS A ROOFING ASSEMBLY FOR THE ENTIRE ROOF COVERING OF EVERY NEW STRUCTURE AND ANY ROOF COVERING APPLIED IN THE ALTERATION, REPAIR OR REPLACEMENT OF THE ROOF OF EVERY EXISTING STRUCTURE. CLASS A ROOFING REQUIRED BY THIS SECTION TO BE LISTED SHALL BE TESTED IN ACCORDANCE WITH UL 790 OR ASTM E 108.
2. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATION OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. SHOW ON PLANS. (CRC R 806)
3. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT. SHOW ON PLANS.(CRC R806.3)
4. ATTIC ACCESS ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22"X30" AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. SHOW ON PLANS.(CRC R807)
5. UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES, ROOF DRAINS SHALL BE INSTALLED. (R903.4)
6. WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE ARE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF OR OVERFLOW SCUPPERS.(R903.4.1)
7. ROOF DRAINAGE SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECTED AND DISCHARGE ROOF TO AN APPROVED DRAINAGE SYSTEM. (R801.3)
8. SPECIFY MANUFACTURER AND ICC ES NUMBER FOR SKYLIGHT.
9. PROVIDE MINIMUM 2% SLOPE AT FLAT ROOF AND DECK. (CRC R905.9)
10. ROOF INSULATION ABOVE-DECK SHALL BE PERMITTED PROVIDED SUCH INSULATION IS COVERED WITH AN APPROVED ROOF COVERING AND COMPLIES WITH FM 445 OR UL 1256.(CRC R906)

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ROOF PLAN

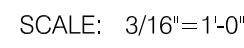
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UNIT A FRONT, REAR & RIGHT ELEVATIONS

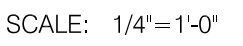
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UNIT A REAR ELEVATION 2



UNIT A FRONT ELEVATION | 1



RIGHT ELEVATION 3

1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R 317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

1. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4)

DOOR ASSEMBLES

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

- EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 9 SQ.FT.
- BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
- TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
- ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING

SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60° ABOVE A WALKING SURFACE AND WITHIN 60°, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE WATER EDGE.

G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36° HORIZONTALLY OF WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60° ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.

H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60° HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60° ABOVE THE NOSE OF THE TREAD.

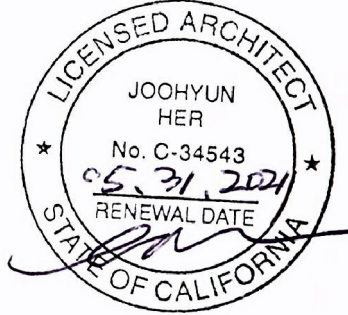
2. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6

3. ALL WINDOWS WITHIN 24" OF DOORS SHALL BE TEMPERED (2406.3)
- WINDOWS: U VALUE; 0.4, SHGC VALUE; 0.4
4. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

1. WINDOWS: U VALUE 0.4 / SHGC VALUE 0.4
2. ROOF: R-30
3. 1ST FLOOR ADDITION: WALL R-15/FLOOR R-19
4. 2ND FLOOR ADDITION: WALL R-19/FLOOR R-19



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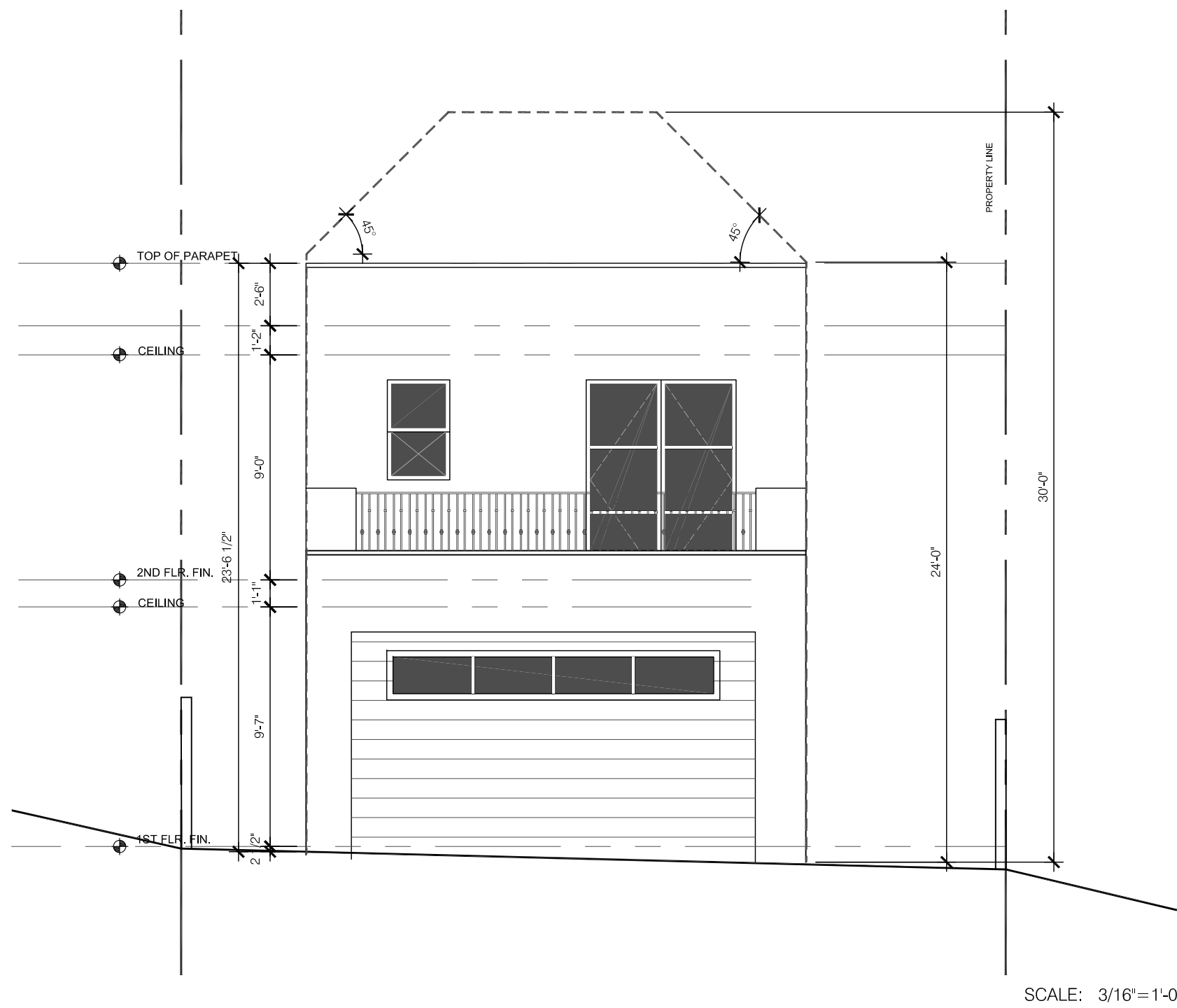
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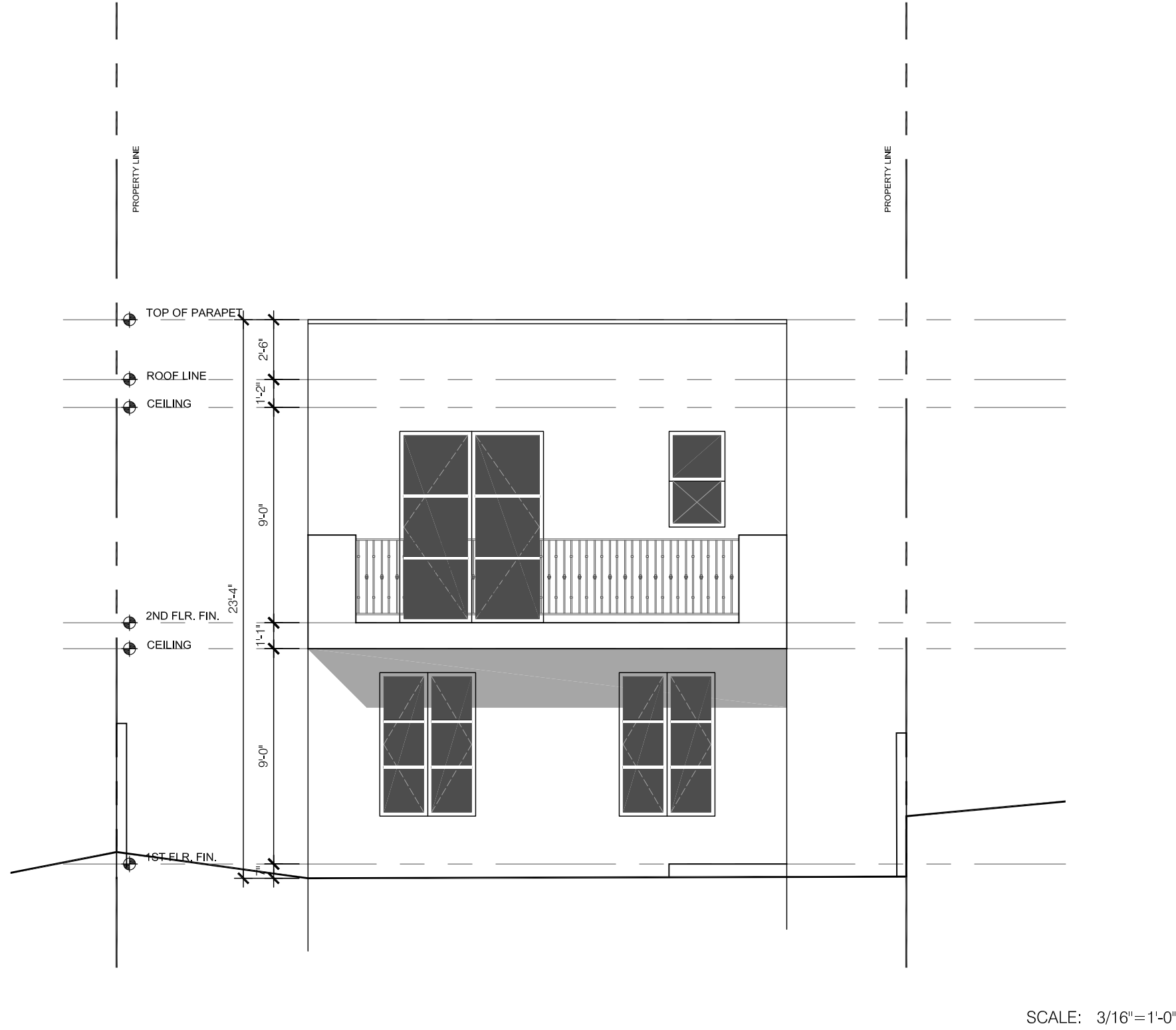
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**UNIT B FRONT, REAR
& LEFT ELEVATION**

A-4.2



UNIT B REAR ELEVATION 2



UNIT B FRONT ELEVATION 1



LEFT ELEVATION 3

GENERAL ELEVATION NOTES

BUILDING ENVELOPE NOTES

- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R 317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWP A U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWP A U1.

GLAZING NOTES

- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4)

A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD

DOOR ASSEMBLES

- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

- EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 9 SQ.FT.
- BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
- TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
- ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILINGS.

- GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING

SURFACE.

- GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE WATER EDGE.
- GLAZING ADJACENT OT STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

- SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6

- ALL WINDOWS WITHIN 24" OF DOORS SHALL BE TEMPERED (2406.3)

WINDOWS: U VALUE; 0.4, SHGC VALUE; 0.4

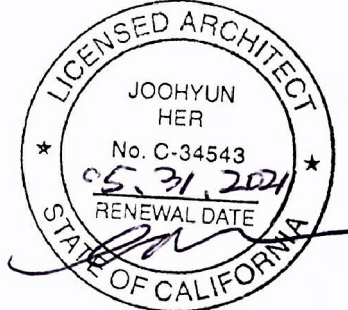
- PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

INSULATION INFORMATION

- WINDOWS: U VALUE 0.4 / SHGC VALLUE 0.4
- ROOF: R-30
- 1ST FLOOR ADDITION: WALL R-15/FLOOR R-19
- 2ND FLOOR ADDITION: WALL R-19/FLOOR R-19



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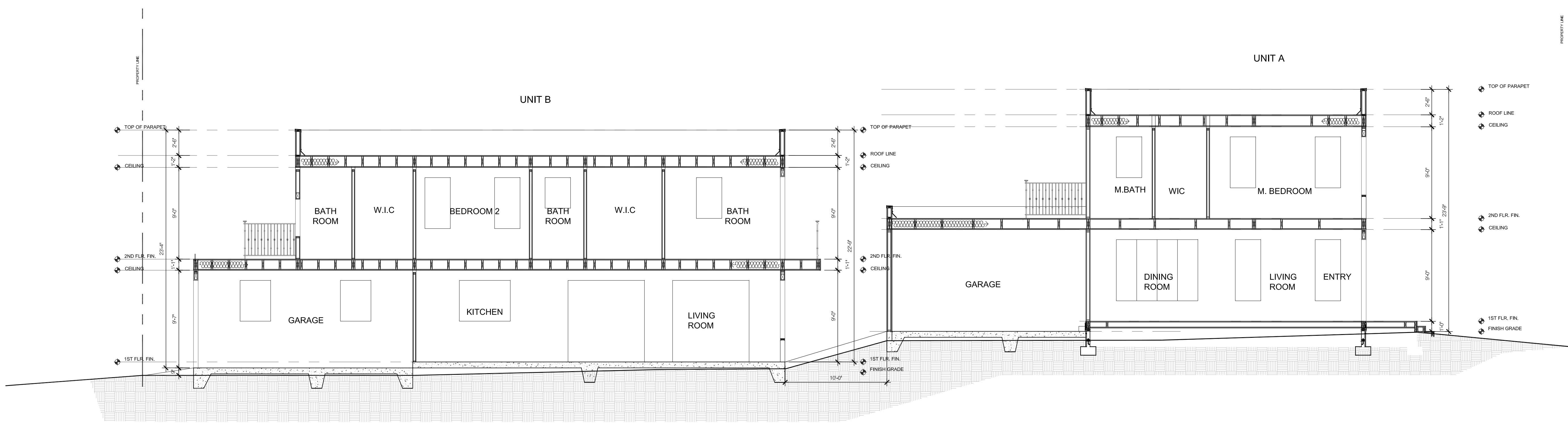
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SECTIONS

A-5.0



SCALE: 1/4"=1'-0"

SECTION 1

GENERAL ELEVATION NOTES

BUILDING ENVELOPE NOTES

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GLAZING NOTES

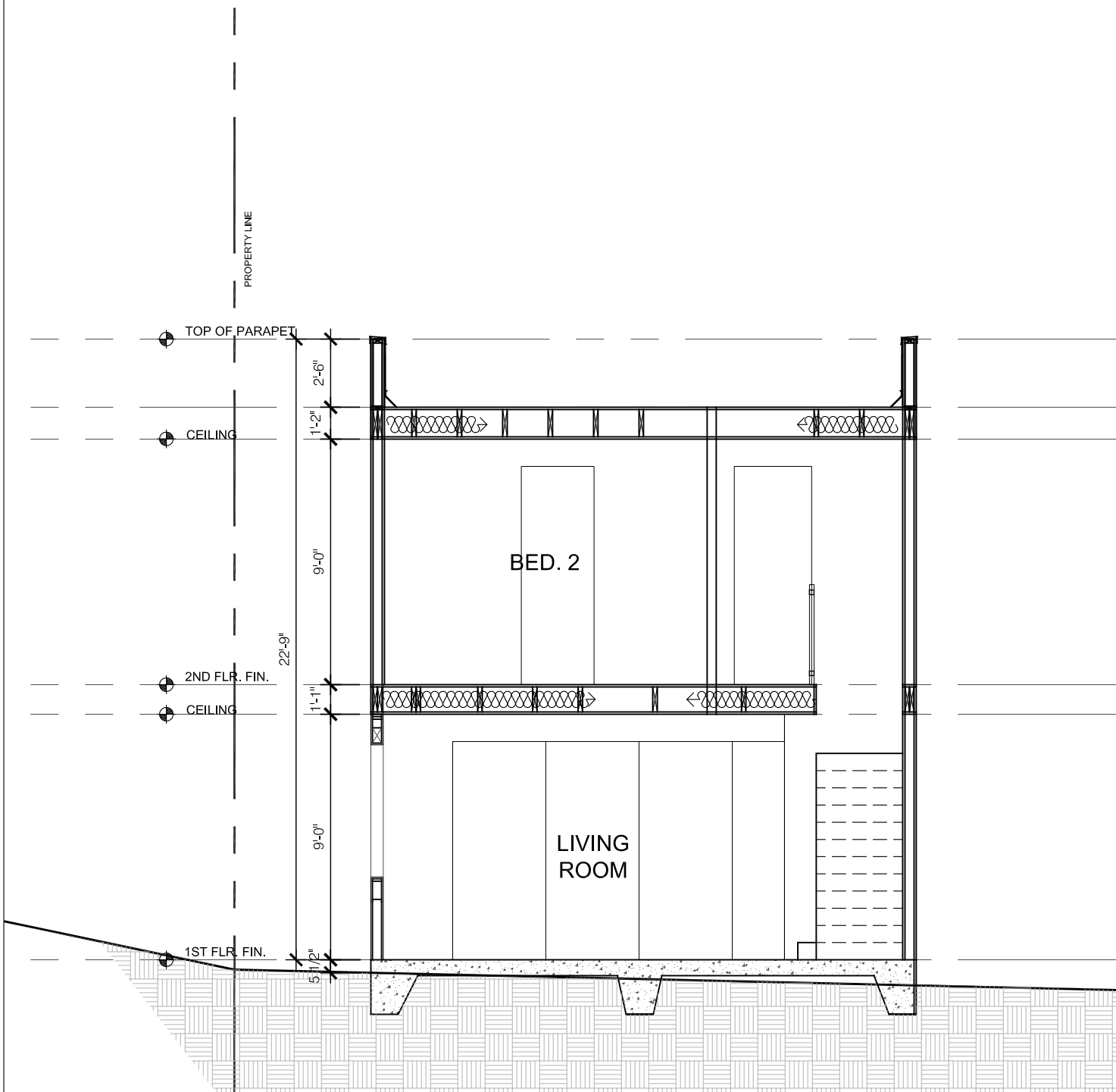
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 - A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLES
 - B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
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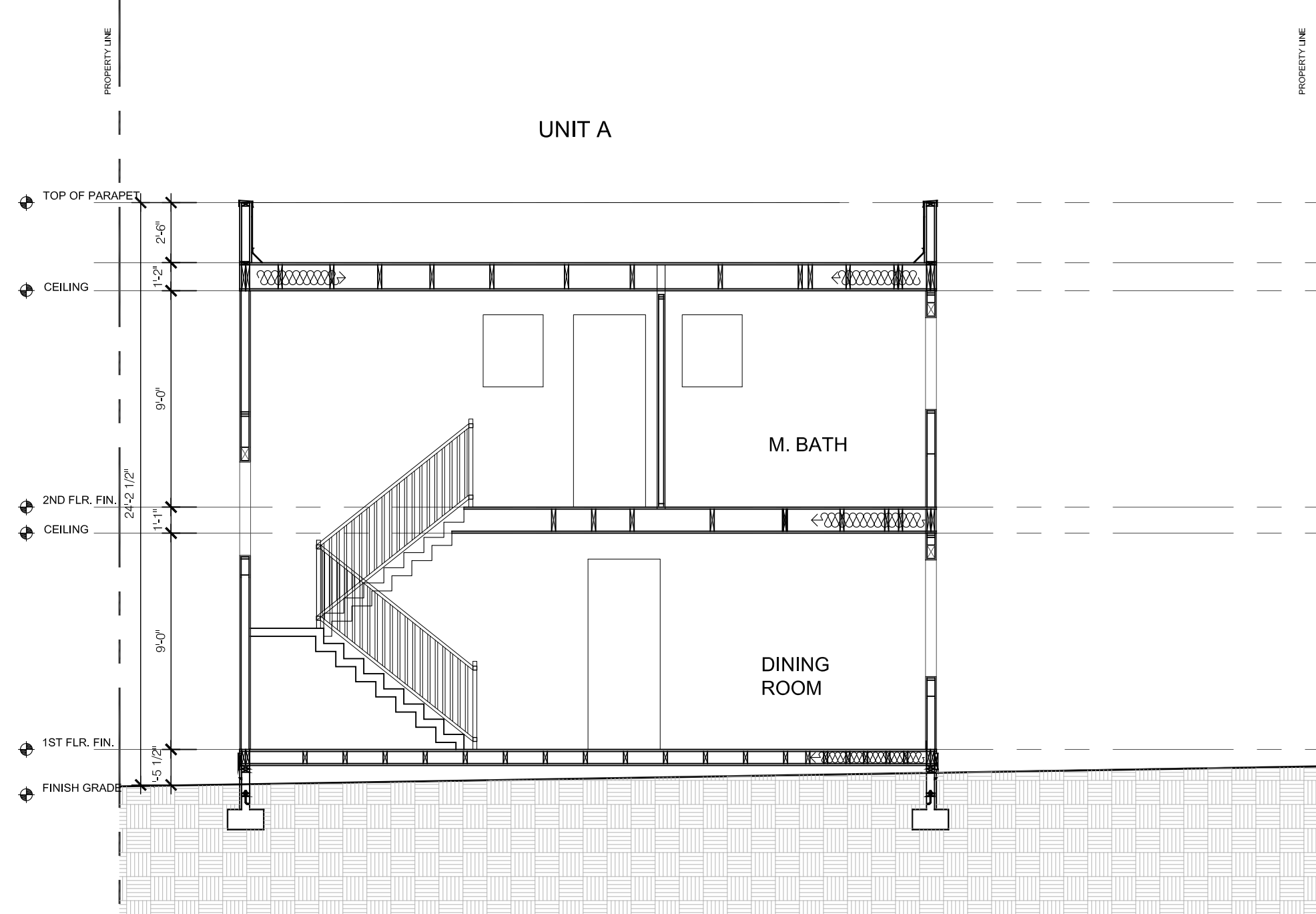
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2. ROOF: R-30
3. 1ST FLOOR ADDITION: WALL R-15/FLOOR R-19
4. 2ND FLOOR ADDITION: WALL R-19/FLOOR R-19



SCALE: 1/4"=1'-0"

UNIT B SECTION 3



SCALE: 1/4"=1'-0"

UNIT A SECTION 2